

SITE DEVELOPMENT PLAN

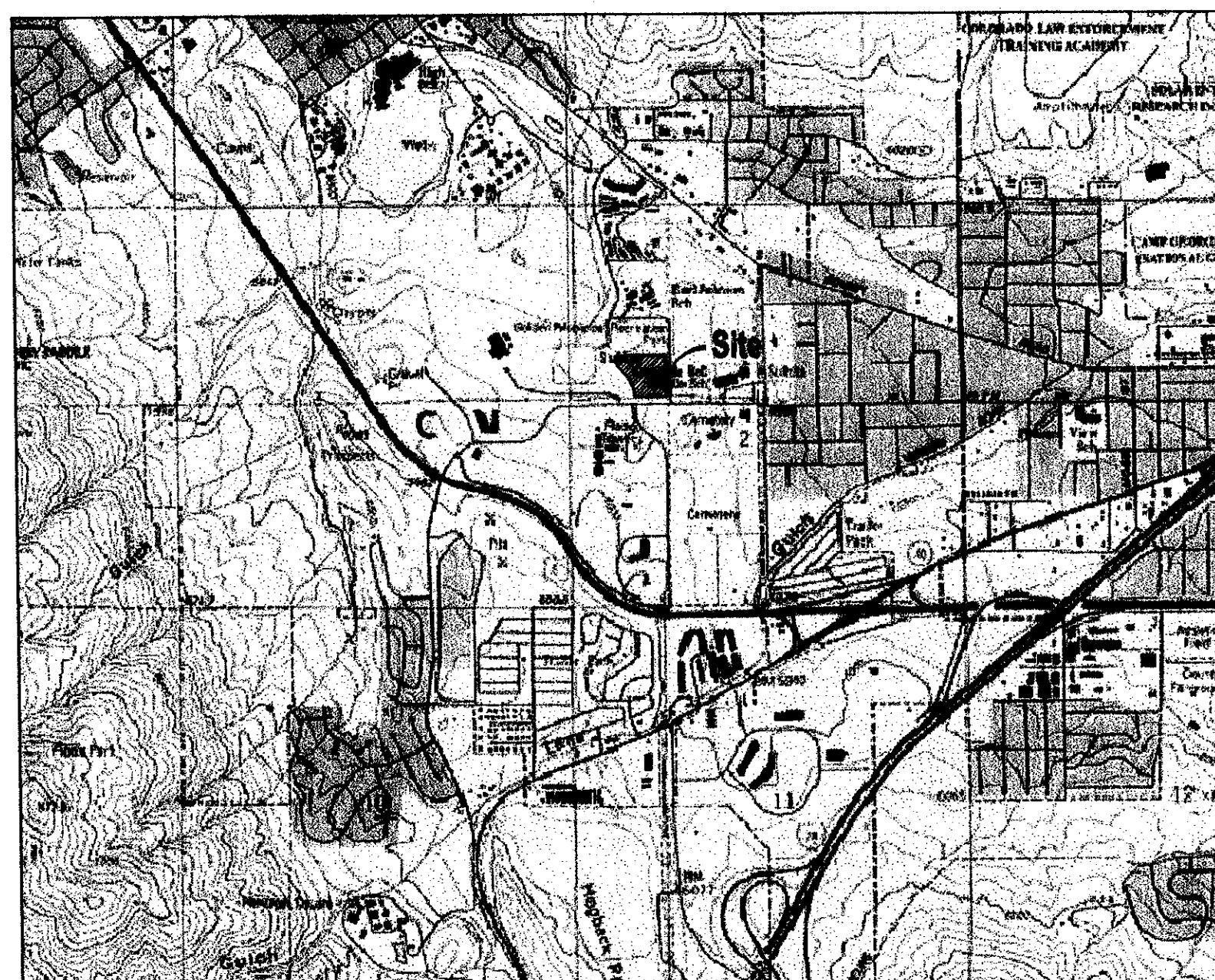
JEFFERSON OFFICE PARK

COVER SHEET

SHEET 1 OF 9

Land Use Data Summary

Site area	309,360 sf (7.102 ac)
Building coverage	41,812 sf (13.5%)
Garage coverage	None
Open parking lots and drives	131,543 sf (42.5%)
Landscaped open space (includes walks)	136,005 sf (44.0%)
Impervious area	195,898 sf (63.3%)
Building gross floor area	125,436 sf
Number of stories	3
Floor area ratio	0.40
Land uses	Office as principal use; retail and restaurant (accessory use)
Floor area, office uses	113,436 sf
Floor area, retail and restaurant accessory uses	12,000 sf
Parking required:	
Offices:	113,436 sf x 1/300 = 378 spaces
Commercial:	12,000 sf x 1/250 = 48 spaces
Total:	426 spaces
Parking provided:	
Conventional parking spaces	417 spaces
Spaces for the handicapped (2% of total are required)	9 spaces
Total parking provided	426 spaces
Zoning	Planned Unit Development
Building setbacks:	
Front	30 ft
Side (north)	10 ft
Rear (east)	20 ft
Maximum elevation, building roof deck	5,952 NGVD 29 datum
Maximum deck elevation by administrative variance	5,957 NGVD 29 datum
Parking and garage setbacks:	
Front	20 ft
Side (north)	10 ft
Rear (east)	0 ft



Vicinity Map
From Golden USGS 7.5' quadrangle; 1" = 2,000'

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Development Standards

The buildings, parking lots, garages, and other features shown are intended solely to illustrate the character and intent of the proposed development, and do not represent final design.

Buildings will be predominantly constructed of masonry, precast concrete, glass, stucco, and similar high quality materials. Architectural design, colors, and finishes will be compatible with neighboring development and consistent with a quality appearance.

Grading design will give consideration to minimizing the use of retaining walls. Landscaped slopes shall not exceed 3:1, with 4:1 being preferred. Where possible, the buildings shall be used to assist in vertical transitions.

All rooftop mechanical units shall be screened in a manner which blends with the structures, and screening shall be effective when viewed from Ulysses Park at an elevation of 5,952 feet.

Roof decks of buildings shall be no higher than 5,957 feet (by administrative variance), based on the following benchmark:
Benchmark: S 406 (1984), a stainless steel rod accessed through a 5-inch logo cap at the intersection of Ulysses Street and West 9th Avenue, at the northeast corner of a cemetery, 53.1 feet north of the center of the north entrance to cemetery, 40.0 feet west of the center of Ulysses Street, 1.0 foot east of a fence, elevation 5989.85 feet, NGVD 29 datum. An administrative waiver is granted to permit the roof deck elevation as shown hereon.

Maintenance of all landscaping, drives, parking lots, garages, and buildings will be the responsibility of the developer or his successors and assigns.

Landscaping shall be used to screen undesirable views, particularly those of the electrical transmission towers and substation, to the extent permitted by the utility company.

All off-site disturbed areas will be landscaped and reseeded.

The Developer will cooperate with the U.S. Postal Service to reconfigure the joint driveway to eliminate the existing two-way traffic from the inbound side.

Existing overhead power lines (except high-voltage transmission lines) on the property and in the adjoining portion of vacated Weir Street will be placed underground at Developer's expense.

Storm water quality best management practices shall be implemented to minimize soil erosion, sedimentation, increased pollutant loads and changed water flow characteristics resulting from land disturbing activity, to the maximum extent possible, so as to minimize pollution of regional water sources.

Parcel Description

A PORTION OF LOT 1, BLOCK 1, GOLDEN DEVELOPMENT SITE SUBDIVISION, AS RECORDED IN THE RECORDS OF JEFFERSON COUNTY, COLORADO IN BOOK 98 AT PAGE 47, RECEPTION NO. 88093385, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE N 89°58'30" E ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 419.55 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTHERLY ALONG THE EAST LINE OF SAID LOT 1, THE FOLLOWING TWO (2) COURSES:

- 1) N 01°03'30" E, 391.39 FEET;
- 2) THENCE N 00°04'14" E, 172.68 FEET, MORE OR LESS, TO A POINT FROM WHICH THE NORTHEAST CORNER OF SAID LOT 1 BEARS N 00°04'14" E, 552.06 FEET;

THENCE N 89°39'15" W, BEING PARALLEL WITH THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 557.34 FEET;
THENCE S 63°38'50" W (RADIAL LINE), 188.22 FEET TO THE WEST LINE OF SAID LOT 1;

THENCE SOUTHEASTERLY ALONG SAID WEST LINE, THE FOLLOWING TWO (2) COURSES:

- 1) SOUTHEASTERLY ALONG A CURVE TO THE LEFT, THE TANGENT OF WHICH BEARS S 28°21'10" E, HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 21°40'03", FOR A DISTANCE OF 170.18 FEET TO A POINT OF REVERSE CURVE;
- 2) THENCE SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 550.00 FEET, A CENTRAL ANGLE OF 42°40'45" FOR A DISTANCE OF 170.18 FEET TO THE POINT OF BEGINNING.

COUNTY OF JEFFERSON,
STATE OF COLORADO.

Owner's Statement

I, Mark Bradley, as manager of SON GLORY LLC, a Colorado Limited Liability Company, owner of the property described herein, do hereby agree that the property shall be developed in strict compliance with the Planned Unit Development Final Development Plan, the original of which is on file with the Clerk and Recorder of Jefferson County, Colorado, and a copy of which is on file with the City Clerk of the City of Golden, Colorado. No variation from any provision of said Final Development Plan shall be permitted unless the plan is amended in accordance with procedures established by ordinance of the City of Golden. Any variation from provisions of said Final Development Plan without prior amendment or addendum of the Plan shall be grounds for revocation of the rezoning ordinance establishing this Planned Unit Development or other appropriate sanctions. I further agree that the Final Development Plan regulations and covenants for this P.U.D. zone district will be executed to those standards, densities, land uses and criteria specified by the Planning Commission and City Council of the City of Golden, Colorado.

SON GLORY BUILDERS, LLC, a Colorado Limited Liability Company

By: *Mark Bradley*
Mark Bradley, Manager

County of Jefferson } ss.
State of Colorado }

The foregoing instrument was acknowledged before me this day of May, 2008, Mark Bradley, as manager of SON GLORY LLC, a Colorado Limited Liability Company. Witness my hand and official seal.

Judith L. McKinley
Notary Public
My commission expires: 4/10/2011
Address: 1125 E. Fremont Ave.
Centennial, Co 80112

Planning Department Approval

Approved this 5TH day of SEPTEMBER, 2007
by the Planning Department of Golden, Colorado.

Steph...
Director of Planning Commission

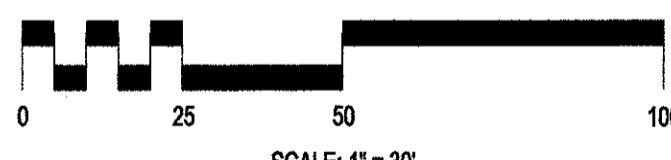
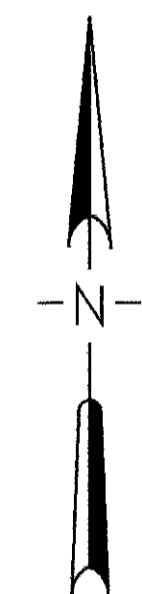
Reams & Patterson, Inc.
Consulting Engineers and Land Surveyors
2950 South Jamaica Court, Suite 105
Aurora, Colorado 80014
(303) 745-4747

SITE PLAN
JEFFERSON OFFICE PARK
 AN AMENDMENT TO GOLDEN DEVELOPMENT SITE PLANNED UNIT DEVELOPMENT
 SHEET 2 OF 9



The Developer will cooperate with the U.S. Postal Service to reconfigure the joint driveway to eliminate the existing two-way traffic from the inbound side.

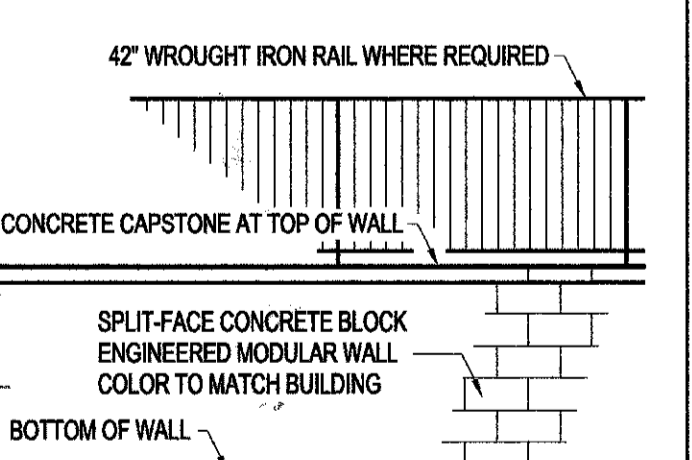
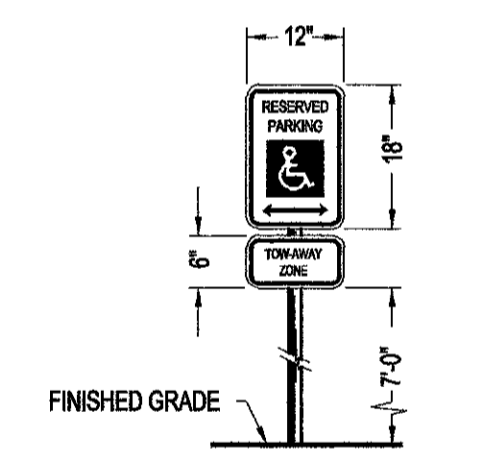
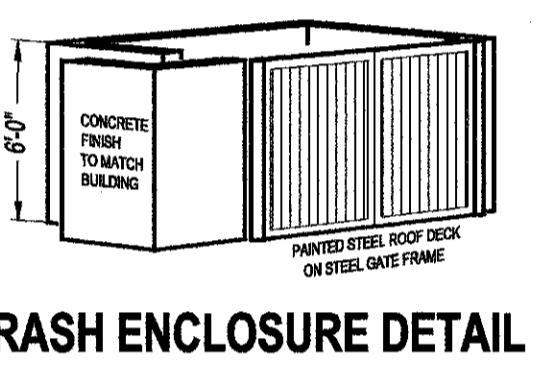
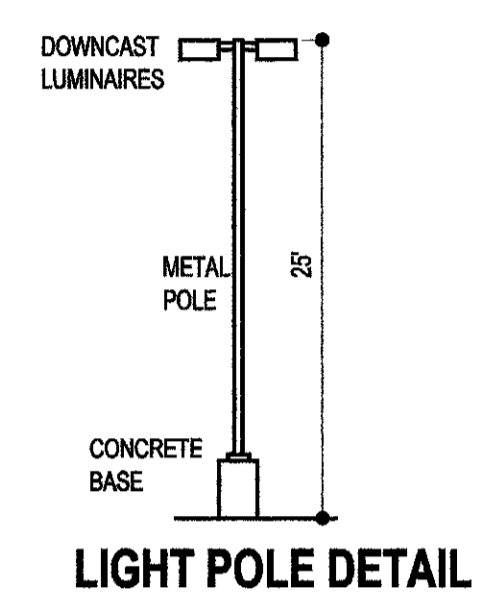
$\Delta = 21^\circ 40' 03''$
 $R = 450.00'$
 $L = 170.18'$



NOTE:
 Existing overhead power lines (except high-voltage transmission lines) on the property and in the adjoining portion of vacated Weir Street will be placed underground at Developer's expense.

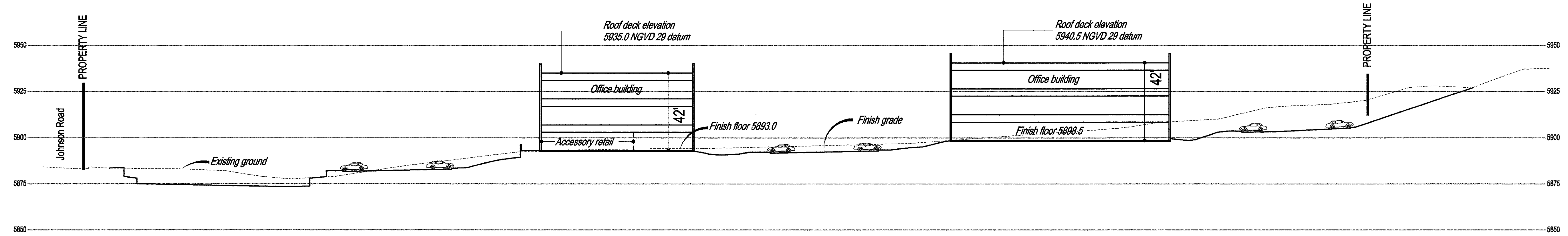
$\Delta = 42^\circ 40' 45''$
 $R = 550.00'$
 $L = 409.69'$

POINT OF BEGINNING SW CORNER, LOT 1
 $N89^\circ 58' 30'' E$
West 10th Avenue
 419.55'

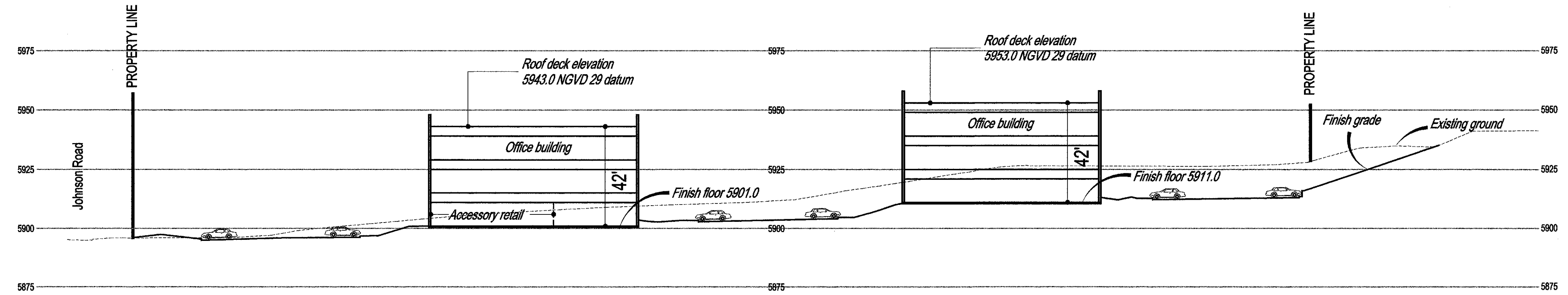


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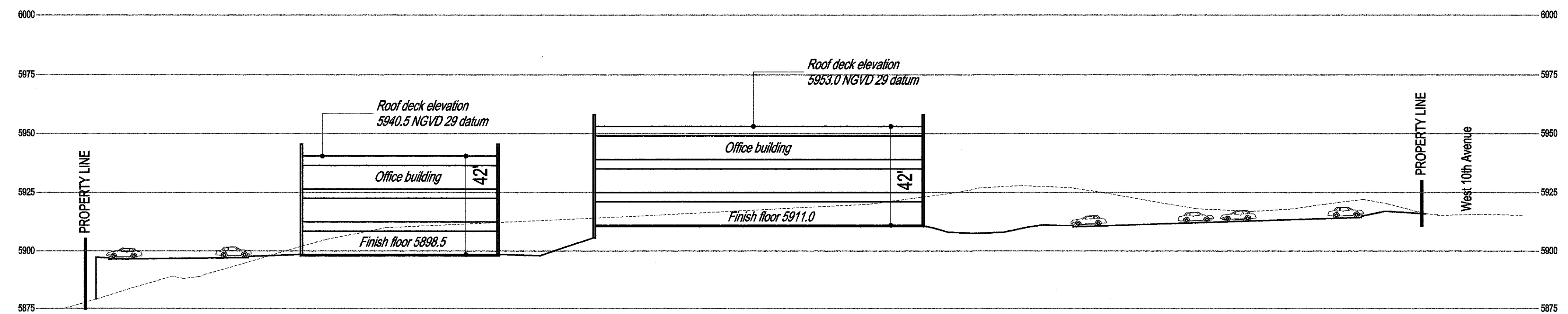
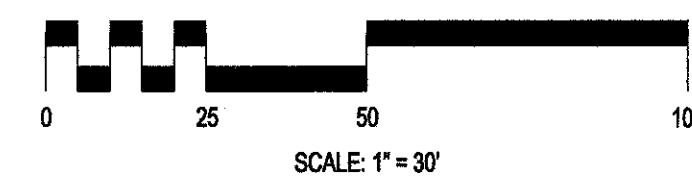
SITE PLAN
JEFFERSON OFFICE PARK
 AN AMENDMENT TO GOLDEN DEVELOPMENT SITE PLANNED UNIT DEVELOPMENT
 SHEET 3 OF 9



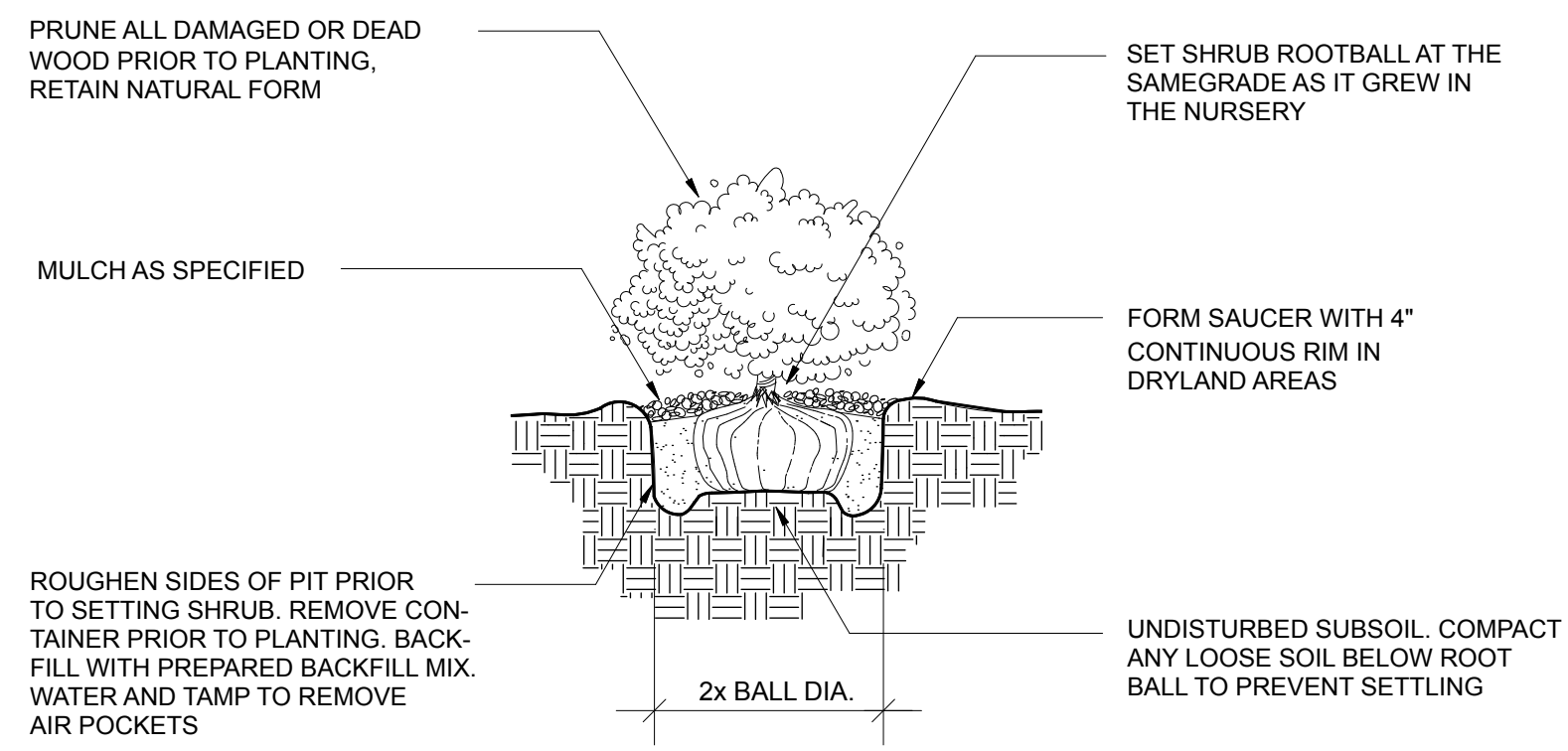
Section A-A (looking north)



Section B-B (looking north)



Section C-C (looking east)



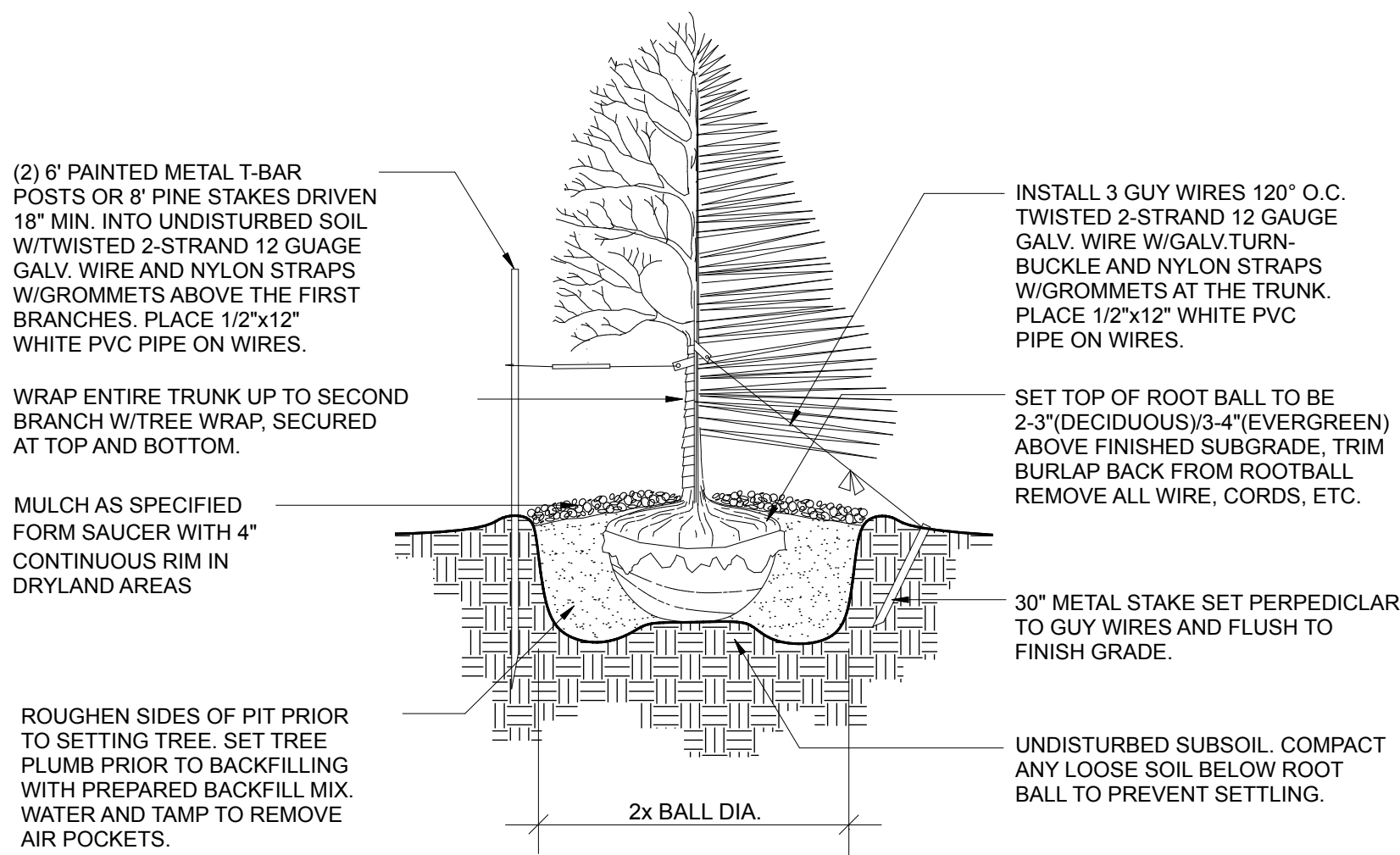
SHRUB PLANTING DETAIL

NOT TO SCALE

STAKED TREE

DECIDUOUS TREES UNDER 3" CALIPER

PRUNE DAMAGED OR DEAD WOOD W/APPROVAL OF LANDSCAPE ARCHITECT DO NOT PRUNE OR DAMAGE LEADER



TREE PLANTING DETAIL

NOT TO SCALE

Plant Materials Schedule:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS	MATURE H/W/SF
DECIDUOUS TREES					
ABM	2	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2 1/2" CAL. B&B FULL HEAD	50' X 40'
APA	1	FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2 1/2" CAL. B&B FULL HEAD	50' X 30'
CAL	4	CATALPA SPECIOSA	CATALPA, WESTERN	2 1/2" CAL. B&B FULL HEAD	50' X 30'
GMT	30	ACER GINNALA	MAPLE, GINNALA	2 1/2" CAL. B&B FULL HEAD	20' X 10'
IMP	6	GLADISTIA TRIACANTHOS 'INERMIS IMPERIAL'	LOCUST IMPERIAL	2 1/2" CAL. B&B FULL HEAD	35' X 25'
MAR	3	FRAXINUS PENNSYLVANICA 'MARSHALLS'	MARSHALLS SEEDLESS ASH	2 1/2" CAL. B&B FULL HEAD	50' X 35'
RHT	21	CRATAEGUS AMBIGUA	HAWTHORN, RUSSIAN	2 1/2" CAL. B&B FULL HEAD	15' X 15'
RLI	4	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2" CAL. B&B FULL HEAD	40' X 25'
SPR	34	MALLUS X 'SPRING SNOW'	CRAB SPRING SNOW	2 1/2" CAL. B&B FULL HEAD	20' X 10'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS	MATURE H/W/SF
EVERGREEN TREES					
AUS	4	PINUS NIGRA	AUSTRIAN PINE	6" HT. B&B FULL TO GROUND	50' X 20'
BSP	2	PICEA PUNGENS	COLORADO SPRUCE (BLUE)	6" HT. B&B FULL TO GROUND	60' X 25'
FOX	30	PINUS ARISTATA	PINE FOXTAIL/BRISTLECONE	6" HT. B&B FULL TO GROUND	30' X 15'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS	MATURE H/W/SF
DECIDUOUS SHRUBS					
BBU	60	EUONYMUS ALATUS	BURNING BUSH	#5 CONT. 18"-24" HT.	8' X 6'
BMS	54	CARYOPTERIS X CLANDONENSIS	SPIREA, BLUEMIST	#5 CONT. 15"-18" HT.	3' X 3'
CAP	8	COTONEASTER APICULATUS	COTONEASTER, CRANBERRY	#5 CONT. 15" HT.	3' X 4'
CPB	41	BARBERIS THUNBERGII 'ATROPURPUREA NANA'	BARBERY 'CRIMSON PYGMY'	#5 CONT. 18"-24" HT.	2' X 3'
EME	83	EUONYMUS E. FORTUNEI	EMERALD GAITY	4" CONT. 48" O.C.	3' X 5'
FCA	133	ROSA X 'NOAMEL'	ROSE, FLOWER CARPET, APPLE BLOSSOM	#2 CONT. 12" HT.	2' X 3'
JAC	209	POTENTILLA FRUITICOSA 'JACKMANN'	JACKMAN POTENTILLA	#5 CONT. 18"-24" HT.	4' X 3'
KDP	109	POTENTILLA 'KATHRYN DYKES'	KATHRYN DYKES POTENTILLA	#5 CONT. 18"-24" HT.	2' X 3'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS	MATURE H/W/SF
EVERGREEN SHRUBS					
HUG	104	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	#5 CONT. 24" MIN. DIA.	18' X 6'
MWB	61	WHITE BUD	WHITE BUD MUGO PINE	#5 CONT. 24"-28" HT.	3' X 4'
WIL	365	JUNIPERUS HORIZONTALIS 'WILTON'	BLUE RUG JUNIPER	#5 CONT. 24" MIN. DIA.	6' X 6'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS	MATURE H/W/SF
PERENNIALS AND GROUND COVER					
CLR	34	AQUILEGIA HYBRIDS	COLUMBINE 'ROCKY MOUNTAIN'	4" CONT. 12" O.C.	18" X 12"
DAO	20	HEMEROCALIS VAR.	DAYLILLY, TALL ORANGE	#1 CONT. 15" O.C.	18" X 36"
DAY	10	HEMEROCALIS VAR.	DAYLILLY, TALL YELLOW	#1 CONT. 15" O.C.	18" X 36"
DDY		HEMEROCALIS 'STELLA DE ORO'	DAYLILLY, DWARF GOLD	#1 CONT. 12" O.C.	18" X 36"
DLR	13	HEMEROCALIS 'SAMMY RUSSELL'	DAYLILLY, SAMMY RUSSELL	#1 CONT. 15" O.C.	18" X 36"
DSH	14	CHRY'SANTHEMUM MAXIMUM 'ALASKA'	DAISY, SHASTA	4" CONT. 15" O.C.	48" X 24"
ECO	1719	EUONYMUS FORTUNEI COLORATUS	PURPLELEAF WINTERCREEPER	4" CONT. 18" O.C.	24" X 36"
HBL	210	CAMPANULA ROTUNDFLORA 'OLYMPIA'	BLUEBELLS OF SCOTLAND	4" CONT. 18" O.C.	12" X 15"
MUY		CHRY'SANTHEMUM MORIFOLIUM	HARDY CUSHION MUMS, YELLOW	4" CONT. 12" O.C.	18" X 36"
VIN	778	V. MINOR 'BOWLES'	VINCA MINOR, PERIWINKLE	#1 CONT. 12" O.C.	8" X 48"

General Planting Notes

VERIFY FIELD CONDITIONS AND NOTIFY THE DEVELOPER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. PROVIDE A STAKED LAYOUT OF NEW SITE IMPROVEMENTS, INCLUDING PLANTING LOCATIONS, FOR INSPECTION BY THE DEVELOPER, PRIOR TO BEGINNING THE WORK. SEE SPECIFICATIONS.

FURNISH AND INSTALL PLANT MATERIALS AS NOTED. ALL PLANT MATERIAL SHALL EQUAL OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT AND IS SUBJECT TO THE APPROVAL OF THE DEVELOPER. SHOULD DISCREPANCY IN QUANTITIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN SHALL TAKE PRECEDENCE OVER THOSE IN PLANT SCHEDULE. ALL JUNIPERS ARE TO BE A MINIMUM ON 30" FROM ANY CURB OR PAVEMENT.

PRIOR TO PLANTING, PREPARE THE ENTIRE SITE BY ROTOTILLING A MINIMUM OF 6" DEEP, 4 YARDS/1,000 SQUARE FEET OF 'ASPEN-RICH' SOIL AMENDMENT, FREE FROM STONE, LUMPS, PLANTS OR THEIR ROOTS, STICKS, WEED STOLONS AND SEEDS, HIGH SALT CONTENT AND OTHER MATERIALS HARMFUL TO PLANT LIFE. ANNUAL, PERENNIAL AND GROUNDCOVER AREAS SHALL RECEIVE AN ADDITIONAL 2" OF SOIL AMENDMENT AND OSMOCOTE SLOW RELEASE FERTILIZER (13-13-13) AT 10 LBS./100 SQUARE FEET, ALL ROTOTILLED 6" DEEP.

EXCAVATE PLANTING PIT TWICE AS WIDE AS ROOT BALL. PREPARE PLANT BACKFILL TO BE 1/3 HUMUS/MANURE MIX NOTED ABOVE AND 2/3 CLEAN EXISTING SOIL. STAKE EVERGREEN TREES AND DECIDUOUS TREES OVER 3" CALIPER WITH THREE GUY WIRES IN RUBBER OR NYLON HOSE LOOPED AROUND TRUNK. STAKE DECIDUOUS TREES LESS THAN 3" CALIPER WITH T-BAR METHOD (TWO STAKES PER TREE). NO EXPOSED WIRES SHALL CONTACT THE TRUNK FOR EITHER GUYING METHOD. TREE WRAP DECIDUOUS TREES PLANTED AFTER AUGUST 30 TO FIRST BRANCH, EXCLUDING COTTONWOODS.

APPLY GRANULAR DIAMMONIUM PHOSPHATE (18-45-0) AT A RATE OF FIVE (5) POUNDS PER 1,000 SQUARE FEET AND RAKE LIGHTLY INTO THE SOIL IN ALL SOD AREAS PRIOR TO SODDING.

SOD SHALL BE BLUEGRASS BLEND APPROVED BY DEVELOPER. LAY SOD ON A FIRM BED WITH TIGHT JOINTS WITH NO VOIDS BETWEEN STRIPS. REPAIR MOUNDS OR DEPRESSIONS OCCURRING AFTER INSTALLATION AND PRIOR TO FINAL ACCEPTANCE.

AREAS PLANTED WITH OTHER THAN SOD OR PLANTING BEDS WILL BE SEEDED WITH THE FOLLOWING MIXES:

DRYLAND SEED AREAS	WETLAND SEED MIX FOR DETENTION POND
30% WESTERN WHEATGRASS	20% WESTERN WHEATGRASS
25% SLENDER WHEATGRASS	20% STREAM BANK WHEATGRASS
15% BLUE GRAMA	20% SWITCHGRASS
10% BUFFALO GRASS	13% REED CANARY GRASS
10% ARIZONA FESCUE	13% BULLRUSH
5% CANADA WILD RYE	13% RED TOP
5% CANBY BLUEGRASS	

ALL PLANTING SHALL BE PROTECTED AND MAINTAINED UNTIL FINAL ACCEPTANCE. MAINTENANCE INCLUDES: MOWING, WATERING, WEEDING, CULTIVATING, MULCHING, TIGHTENING AND REPAIRING OF GUY'S, REMOVAL OF DEAD BRANCHES, RESETTING PLANTS TO PROPER GRADE OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER. THE OWNER SHALL SUPPLY WATER. DISTRIBUTION OF THE WATER FROM THE OWNER'S SOURCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FAILURES IN THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE CONTRACTOR FROM APPLYING THE NECESSARY WATER.

PLANTS SHALL BE WARRANTED FOR ONE GROWING SEASON. SPRING PLANTINGS SHALL BE WARRANTED THROUGH OCTOBER OF THE SAME YEAR. PLANTINGS INSTALLED AFTER THE MONTH OF AUGUST WILL BE WARRANTED THROUGH MAY THE FOLLOWING SPRING. PLANT MATERIAL THAT IS IN QUESTIONABLE CONDITION MAY RECEIVE AN EXTENDED GUARANTEE AT THE REQUEST OF THE LANDSCAPE CONTRACTOR AND APPROVAL OF THE DEVELOPER. ALL WARRANTIES ON PLANTS ARE 100% INCLUDING MATERIALS AND LABOR BASED UPON A ONE-TIME REPLACEMENT PER PLANT.

MULCH BEDS WITH WESTERN RED CEDAR MULCH. SUBMIT A ONE-GALLON SAMPLE TO THE DEVELOPER FOR APPROVAL PRIOR TO SITE DELIVERY. MULCH ALL PLANTING BEDS TO PROVIDE A 4" SETTLED DEPTH EXCEPT FOR AREAS TO RECEIVE ANNUALS, PERENNIALS AND GROUNDCOVERS, WHICH SHALL BE MULCHED AT 2" SETTLED DEPTH. PLANTING BEDS WITH A SLOPE OF 1.5 OR GREATER ARE TO BE NETTED AND STAKED AFTER MULCHING. SUBMIT SAMPLES TO DEVELOPER.

PLANTING BED EDGER SHALL BE 1/8" X 4" STEEL EDGER GALVANIZED OR PRIMED AND PAINTED GREEN. STAKE AT 3' O.C. MAXIMUM SPACING WITH MINIMUM 6" OVERLAP AT ENDS. EDGER, ALIGNMENT AND STAKING SHALL BE SUBJECT TO THE DEVELOPER'S APPROVAL.

ALL PLANTED AREAS TO BE IRRIGATED BY AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM AS FOLLOWS:

- A SEPARATE ZONING FOR TURF AND SHRUB PLANTING AREAS.
- B SHRUBS WILL BE IRRIGATED BY DRIP.
- C GROUND COVER AND PERENNIAL BEDS WILL BE IRRIGATED BY MAXI-JETS.
- D LAWN AREAS WILL BE IRRIGATED BY POP-UP SPRAY HEADS AND/OR GEAR DRIVEN ROTARY HEADS.

SECURE AND PAY APPLICABLE TAXES, PERMITS AND FEES IN CONNECTION WITH THE WORK UNDER THE CONTRACT.

PROVIDE FOR PROTECTION OF ALL UTILITIES, PRIVATE OR PUBLIC PROPERTY, PUBLIC SAFETY, AND EXISTING SITE IMPROVEMENTS FOR THE DURATION OF THE CONTRACT AND REPAIR OR REPLACE DAMAGES TO IT WITHOUT ADDITIONAL COST TO THE OWNER.

KEEP THE PREMISES CLEAN AND ORDERLY AND DISPOSE OF WASTE AND DEBRIS AT AN APPROVED LOCATION OFF-SITE PERIODICALLY AND PRIOR TO FINAL ACCEPTANCE.

LANDSCAPING SHOWN ON THIS SITE PLAN, INCLUDING ANY LANDSCAPING SHOWN ON THE PUBLIC RIGHT-OF-WAY, SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON. ANY REPLACEMENT THAT CONFORMS TO THE REQUIREMENTS OF THIS SECTION SHALL NOT BE CONSIDERED AN AMENDMENT TO THE SITE PLAN.

Spectra Colorado

12 Ward Ct.
Lakewood, Colorado 80228
303.601.0580 FAX 303.723.5510
www.spectracolorado.com

Jefferson Office Park

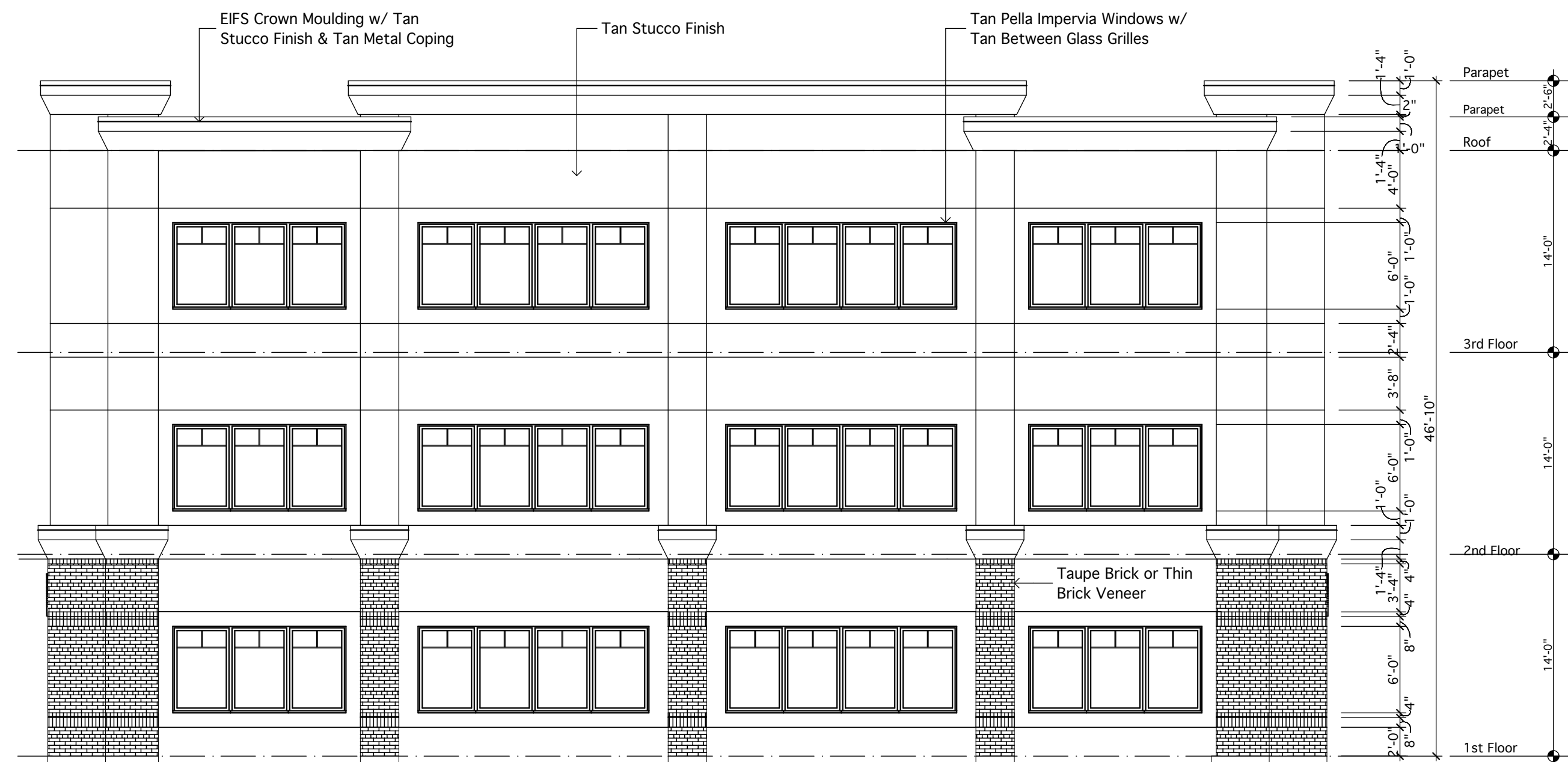
Landscape Details
1000 Johnson Rd.
Golden, Colorado 80219

job	JOP
drawn	DRF
checked	JFH
issued for	
5/17/07	PUD Re-Submission

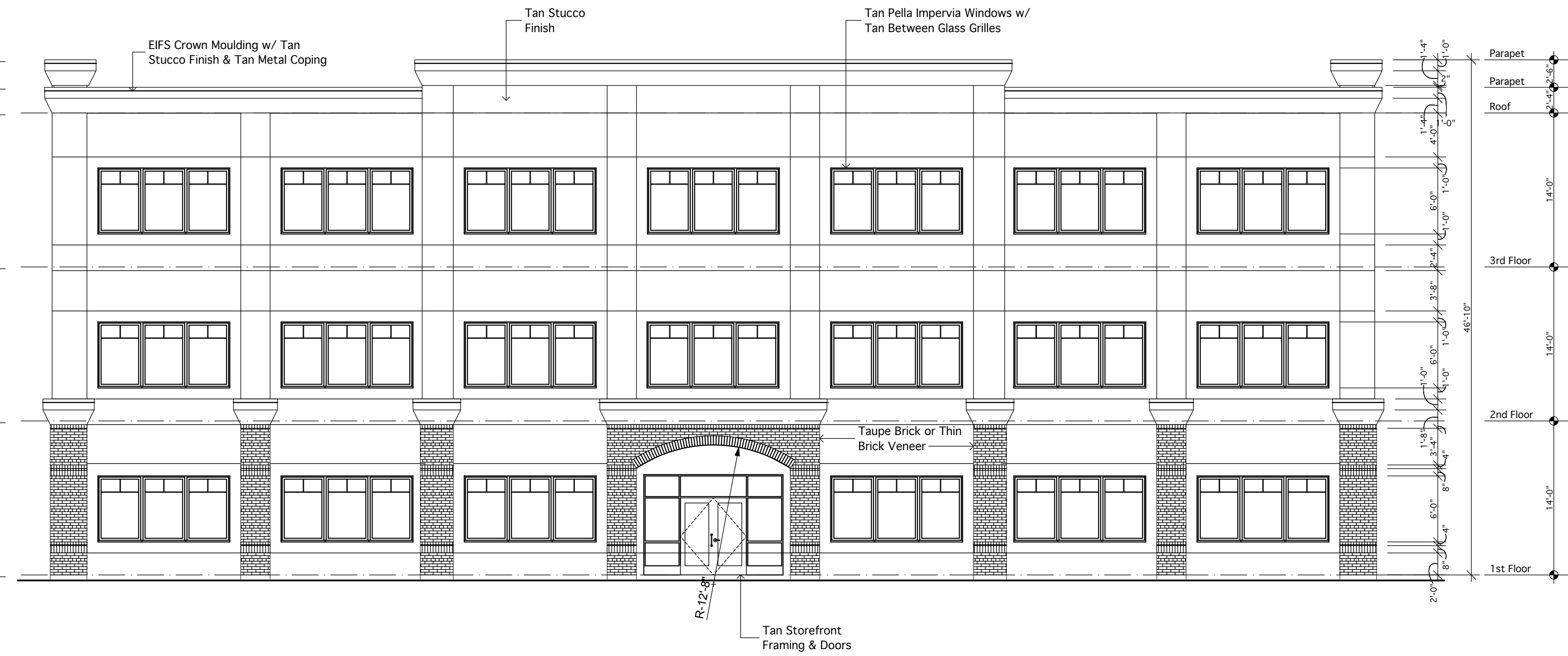
revision

sheet

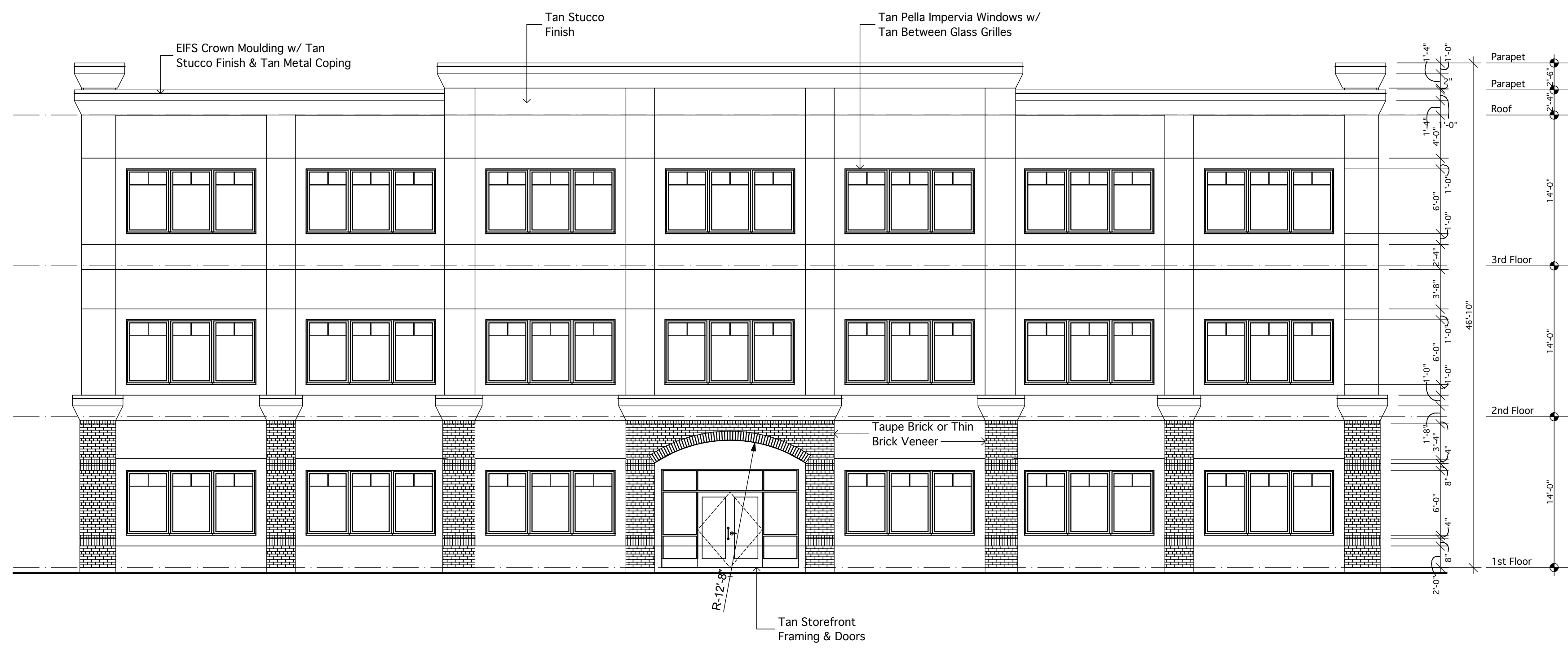
L1



3 South & North Elevation
SCALE: 1/8" = 1' - 0"



1 West Elevation
SCALE: 1/8" = 1' - 0"



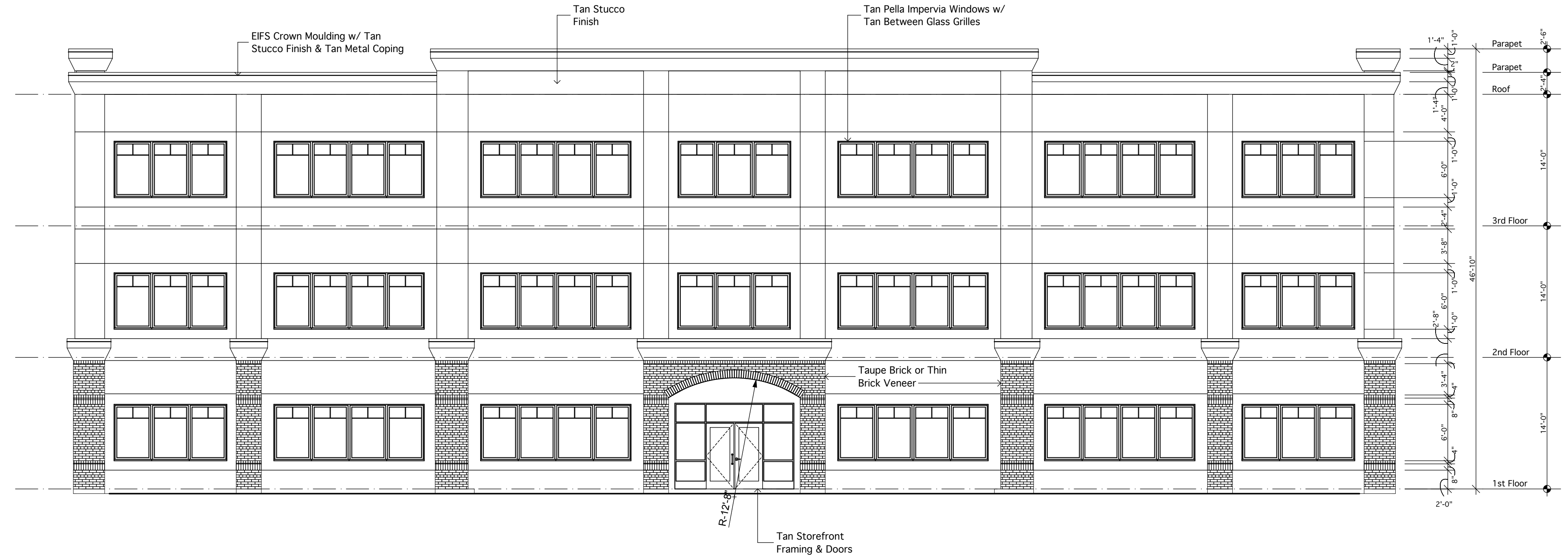
1 West Elevation
SCALE: 1/8" = 1' - 0"

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j.f.haezebrouck@comcast.net

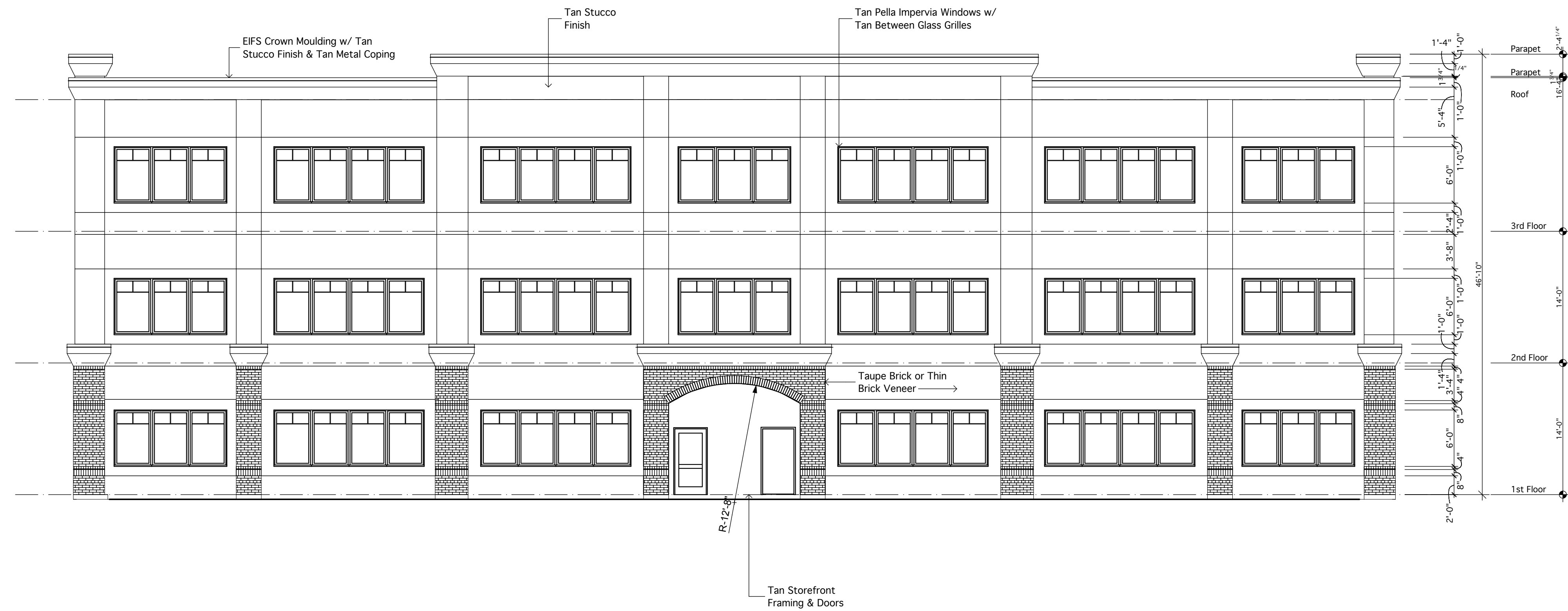
Jefferson Office Park
Building 4 Elevations
1000 Johnson Rd.
Golden, Colorado 80219

job	JOP
drawn	DRF
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issued for	5/17/07 PUD Re-Submission
revision	
sheet	

A1



1 West Elevation
SCALE: 1/8" = 1' - 0"



2 East Elevation
SCALE: 1/8" = 1' - 0"

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Jefferson Office Park
Buildings 3 Elevations
1000 Johnson Rd.
Golden, Colorado 80219

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drawn	DRF
checked	JFH
issued for	
	5/17/07 PUD Re-Submission

revision

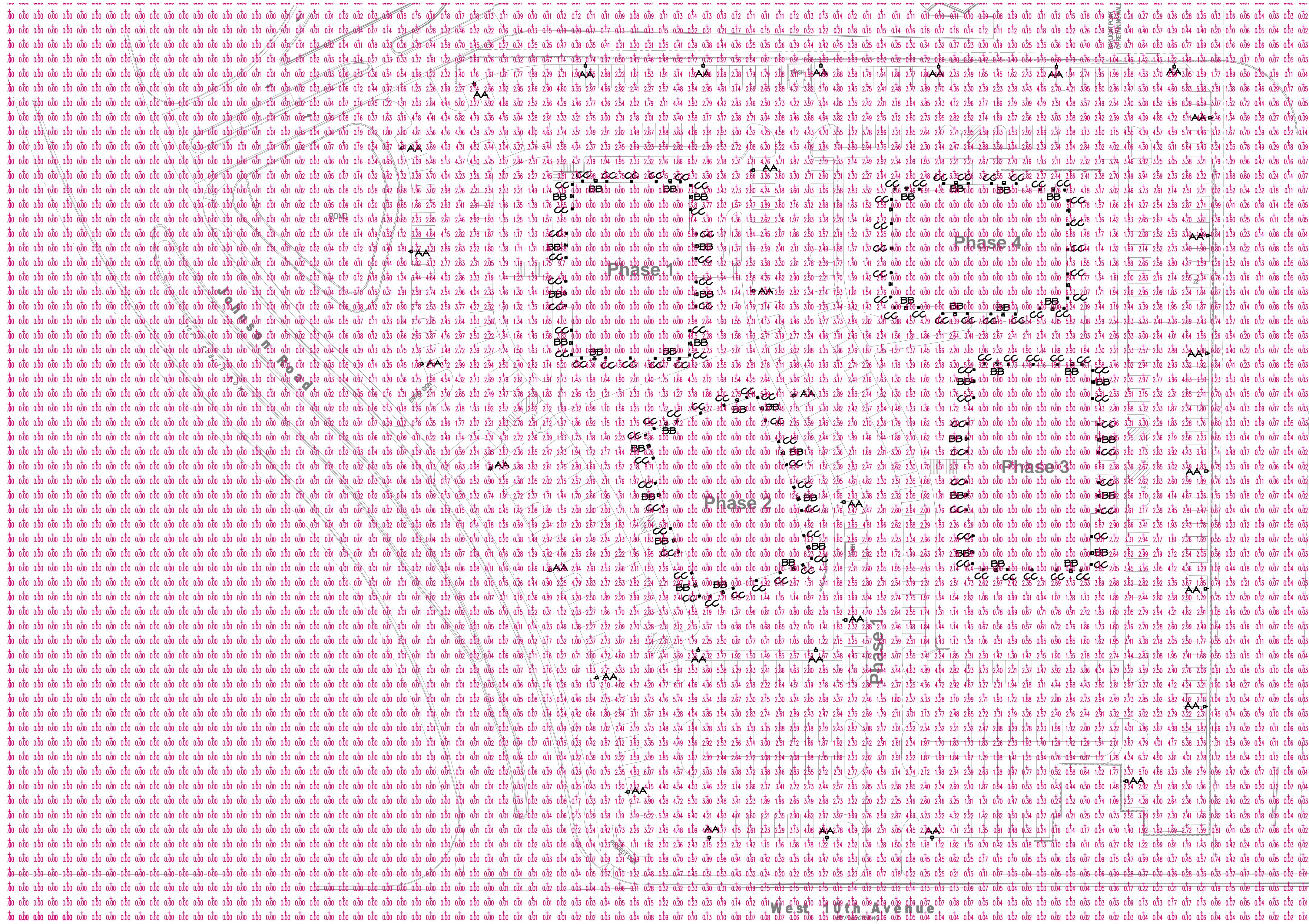
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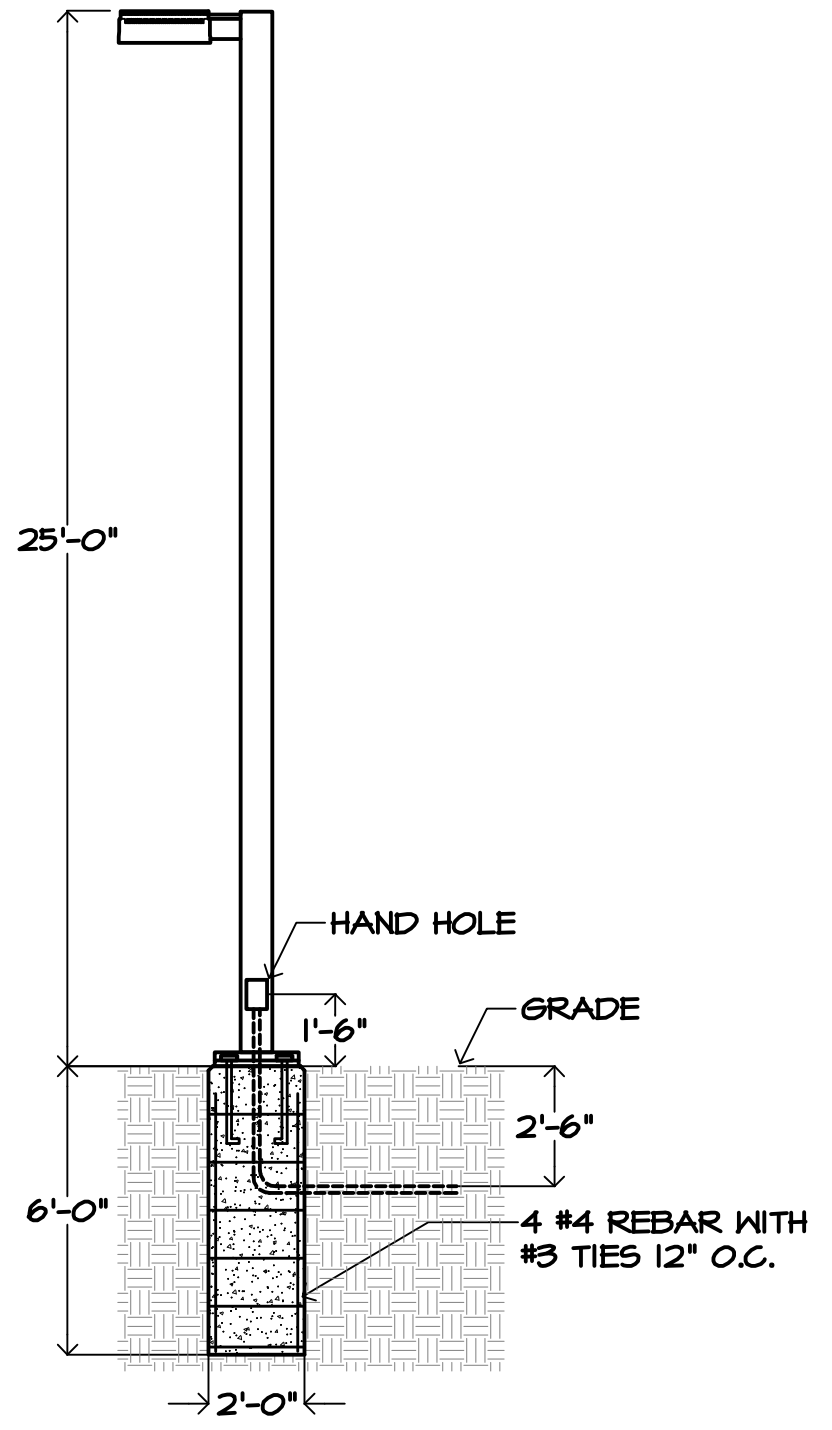
JEFFERSON OFFICE PARK PLANNED UNIT DEVELOPMENT

AN AMENDMENT TO GOLDEN DEVELOPMENT FINAL DEVELOPMENT PLAN

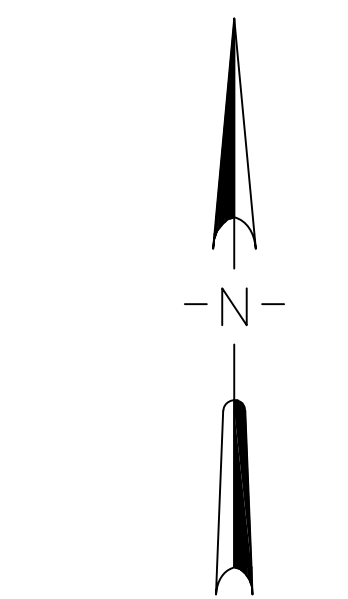
SHEET 10 OF 11



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 40'-0"



POLE DETAIL
NOT TO SCALE



DESCRIPTION OF LUMINAIRE				LUMINAIRE SPECIFICATIONS			
KEY	DESCRIPTION	FINISH	MOUNTING INFORMATION	MANUFACTURER	CATALOG NUMBER	LAMP	VOLTAGE
AA	POLE MOUNTED FULL CUTOFF METAL HALIDE AREA LIGHT WITH TYPE IV DISTRIBUTION & HOUSE SIDE SHIELD	DARK BRONZE	25' POLE	KIM	IAET4/400PMH/DB-P/H/S	I-400W PMH	-
BB	WALL MOUNTED FULL CUTOFF METAL HALIDE WALL WASHER	DARK BRONZE	WALL 440'	KIM	WC18DS/150PMH/DB-P	I-150W PMH	-
CC	WALL MOUNTED FULL CUTOFF METAL HALIDE NARROW WALL WASHER	DARK BRONZE	WALL 412'	KIM	WC14DS/50PMH/DB-P	I-50W PMH	-

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Consulting Electrical Engineers
Est. 1984

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AN AMENDMENT TO GOLDEN DEVELOPMENT PUD FINAL DEVELOPMENT PLAN

SHEET 11 OF 11

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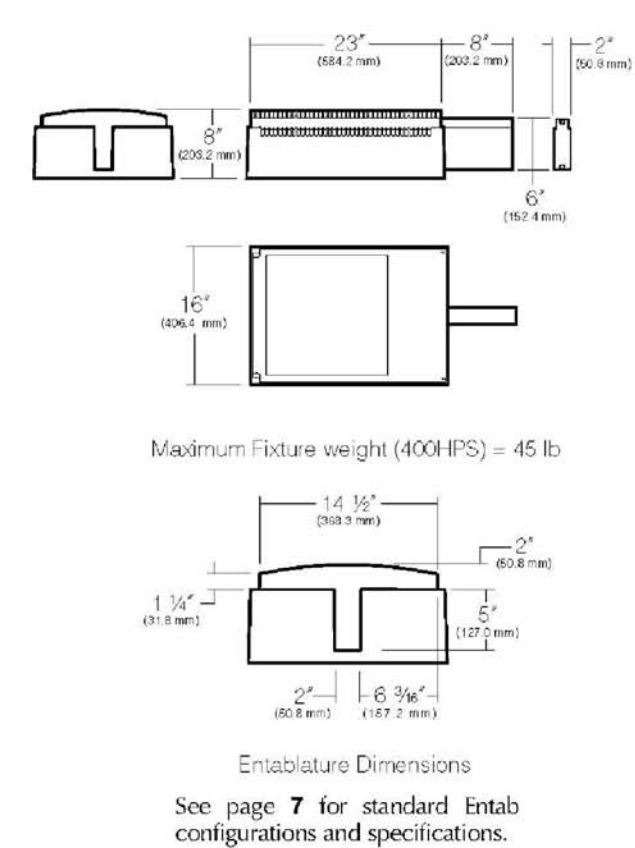
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Page: 1 of 7

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Select pole from Kim Pole Catalog. If pole is provided by others indicate O.D. for arm fitting.

Specifications

ET Model
150 to 400 watt
Mogul Base Lamps



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Housing: One-piece die-cast, low copper alloy (<0.6% Cu) aluminum with integral cooling fins on the top surface above the optical chamber and electrical compartment. A solid barrier wall separates the optical and electrical compartments, with gasketed wire penetrations. A double-thick wall with gaskets is provided on the support arm mounting end. Inset sections on each end provide for attachment of optional entablatures, and cradle the mounting arm. All hardware is stainless steel or electro-zinc plated steel.

Lens Frame: One-piece die-cast, low copper alloy (<0.6% Cu) aluminum with a 1" minimum thickness around the gasket flange for rigidity. Integral hinges with stainless steel pins provide notched mounting and removal from the housing. Two stainless steel thumb-latches are recessed into the front corners, concealed from normal view. Lens frame seals against the housing by a one-piece extruded silicone gasket with vulcanized end closure. Clear 3/8" thick tempered flat or convex glass lens is retained in the frame by eight clips with full silicone gasketing around the perimeter.

Reflector Module: Specular Alzak® optical segments are rigidly mounted in a die-cast, low copper alloy (<0.6% Cu) aluminum enclosure which attaches to the housing as a one-piece module. Reflector module is field-rotatable in 90° increments. All HPS and PWH sockets are porcelain mogul base rated 4KV, and MH sockets are pin-oriented with a molded silicone lamp stabilizer. All reflector modules are factory prewired with a quick-disconnect plug for the ballast module, with wires passing through a silicone gasket in the housing barrier wall. Four light distributions are available and interchangeable within the same housing size.

Electrical Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory prewired with quick-disconnect plugs. Electrical module attached to housing with metal hinges and latches, accessible by opening the lens frame. All ballasts are high power factor with starting temperatures of 40°F for HPS and 20°F for MH lamp modes.

Support Arm: One-piece extruded aluminum with internal bolt guides and a recessed step to match the housing. Luminaires-to-pole attachment is by internal draw bolts, and includes a pole reinforcing plate with wire strain relief. For mounting to round poles, arm is circular cut for precise mating to the pole diameter.

Finish: Super TFC® thermoseal polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating, A.S. I.M. 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

Listings and Ratings		
UL cUL 1598®	4G Vibration	25C Ambient
IP66 Rated	CE	ISO 9001:2000
Full Cut Off with flat glass lens Cut Off with convex glass lens		
*Suitable for wet locations *UL Cycle Tested *DNR, Sky Legislation Compliant		

KIM LIGHTING
WC18
18" Wall Commander®
revision 1/12/07 • wc18.pdf

Type:
Job:
Catalog number:

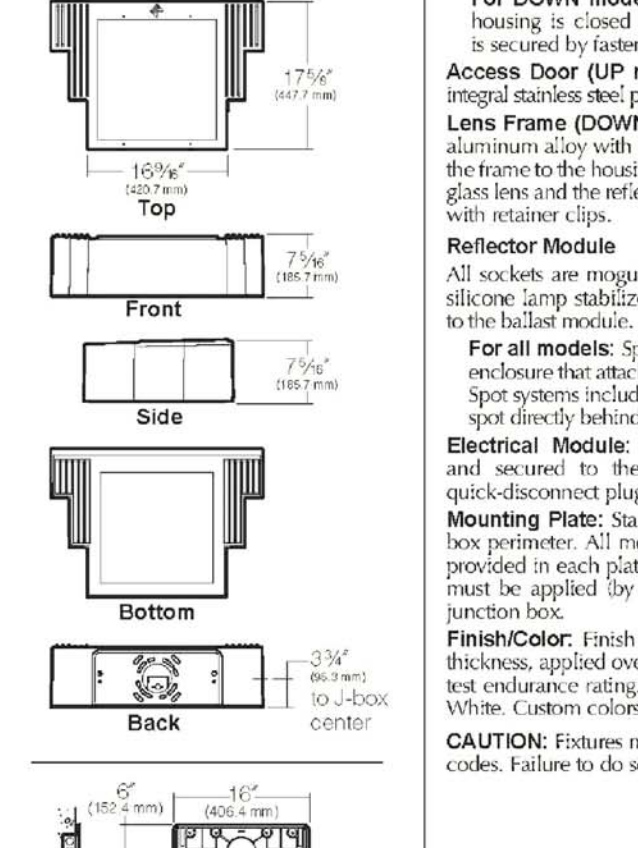
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1/ Future 2/ Electrical Module 3/ Finish 4/ Options 5/ Options Detail
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Specifications

150 to 400 watt
Mogul Base Lamps



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Housing and Lens: The complete housing fastens to a mounting plate with keyhole slots freeing both hands for securing and wiring. Access to field splice is through back of housing.

For UP and UP/DOWN model: One-piece die-cast, low copper (<0.6% Cu) aluminum alloy. Lens (Up model) and top lens (Up/Down model) is flat 3/8" thick tempered glass mounted flush with top of housing for water run off, and is silicone sealed.

For DOWN model: Two-piece die-cast, low copper (<0.6% Cu) aluminum alloy. Top of housing is closed with a die-cast plate with cooling fins to dissipate heat. The top plate is secured by fasteners and sealed with silicone gasketing around the perimeter.

Access Door (UP model): One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral stainless steel pin hinges. Two stainless steel thumb latches secure the frame to the housing.

Lens Frame (DOWN and UP/DOWN model): One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral stainless steel pin hinges. Two stainless steel thumb latches secure the frame to the housing. Sealing is provided by a one-piece molded silicone gasket between the glass lens and the reflector flange. Clear flat lens is 3/8" thick tempered glass secured to lens frame with retainer clips.

Reflector Module: All sockets are mogul base rated 4KV, MH versions having pin-oriented sockets with molded silicone lamp stabilizers. All models are factory prewired with quick-disconnect plug for mating to the ballast module.

For all models: Specular Alzak® optical segments rigidly mounted within a die-cast aluminum enclosure that attaches to the housing by stainless steel hinges and latches. The Wall Grazer and Spot systems include black lower vanes that run parallel to the lamp arc for controlling the hot spot directly behind the luminaire, and the spill light into the atmosphere.

Electrical Module: High power factor ballasts are mounted to a rigid aluminum tray and secured to the housing with screws and key hole slots. Factory prewired with quick-disconnect plugs for mating to the reflector module and incoming leads.

Mounting Plate: Standard mounting plate is attached to wall (by others) outside the junction box perimeter. All mounting plates are die-cast aluminum with reinforced ribs. Two studs are provided in each plate with fange nuts to allow luminaire mounting by key hole slots. Sealant must be applied (by others) between mounting plate and mounting surface to insure a dry junction box.

Finish/Color: Finish is Super TFC® thermoseal polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating, A.S. I.M. 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

Listings and Ratings		
UL cUL 1598®	4G Vibration	25C Ambient
IP66 Rated	CE	ISO 9001:2000
*Suitable for wet locations *UL Cycle Tested *DNR, Sky Legislation Compliant		

KIM LIGHTING
WC14
14" Wall Commander®
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Type:
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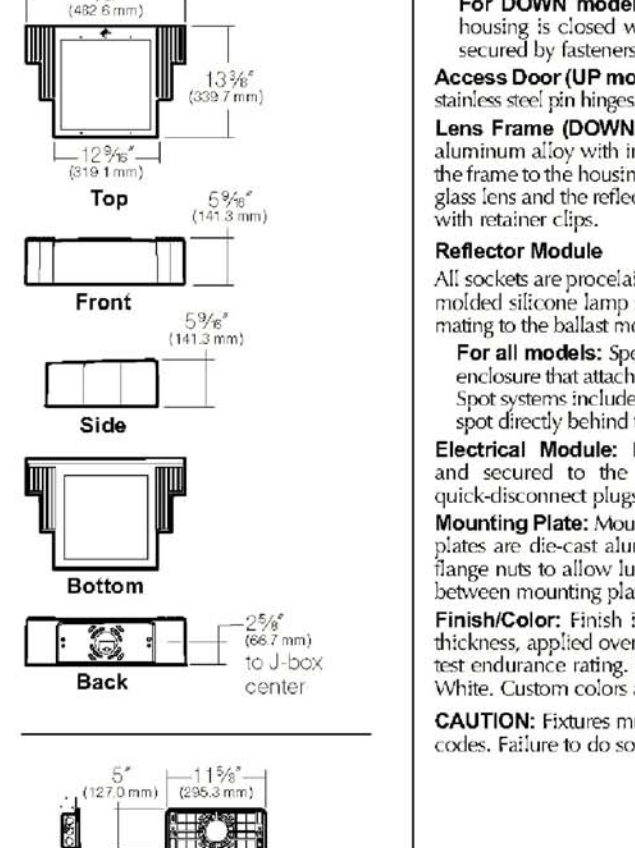
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1/ Future 2/ Electrical Module 3/ Finish 4/ Options 5/ Options Detail
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Specifications

50 to 175 watt
Medium Base Lamps



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Lighting, Inc.

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Housing and Lens: The complete housing fastens to a mounting plate with keyhole slots freeing both hands for securing and wiring. Access to field splice is through back of housing.

For UP and UP/DOWN model: One-piece die-cast, low copper (<0.6% Cu) aluminum alloy. Lens (Up model) and top lens (Up/Down model) is flat 3/8" thick tempered glass mounted flush with top of housing for water run off, and is silicone sealed.

For DOWN model: Two-piece die-cast, low copper (<0.6% Cu) aluminum alloy. Top of housing is closed with a die-cast plate with cooling fins to dissipate heat. The top plate is secured by fasteners and sealed with silicone gasketing around the perimeter.

Access Door (UP model): One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral stainless steel pin hinges. Two stainless steel thumb latches secure the frame to the housing.

Lens Frame (DOWN and UP/DOWN model): One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral stainless steel pin hinges. Two stainless steel thumb latches secure the frame to the housing. Sealing is provided by a one-piece molded silicone gasket between the glass lens and the reflector flange. Clear flat lens is 3/8" thick tempered glass secured to lens frame with retainer clips.

Reflector Module: All sockets are porcelain medium base rated 4KV, MH versions having pin-oriented sockets with molded silicone lamp stabilizers. All models are factory prewired with quick-disconnect plug for mating to the ballast module.

For all models: Specular Alzak® optical segments rigidly mounted within a die-cast aluminum enclosure that attaches to the housing by stainless steel hinges and latches. The Wall Grazer and Spot systems include black lower vanes that run parallel to the lamp arc for controlling the hot spot directly behind the luminaire, and the spill light into the atmosphere.

Electrical Module: High power factor ballasts are mounted to a rigid aluminum tray and secured to the housing with screws and key hole slots. Factory prewired with quick-disconnect plugs for mating to the reflector module and incoming leads.

Mounting Plate: Mounting plate attaches directly to any standard 4" junction box. All mounting plates are die-cast aluminum with reinforced ribs. Two studs are provided in each plate with fange nuts to allow luminaire mounting by key hole slots. Sealant must be applied (by others) between mounting plate and mounting surface to ensure a dry junction box.

Finish/Color: Finish is Super TFC® thermoseal polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating, A.S. I.M. 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

Listings and Ratings		
UL cUL 1598®	4G Vibration	25C Ambient
IP66 Rated	CE	ISO 9001:2000
*Suitable for wet locations *UL Cycle Tested *DNR, Sky Legislation Compliant		

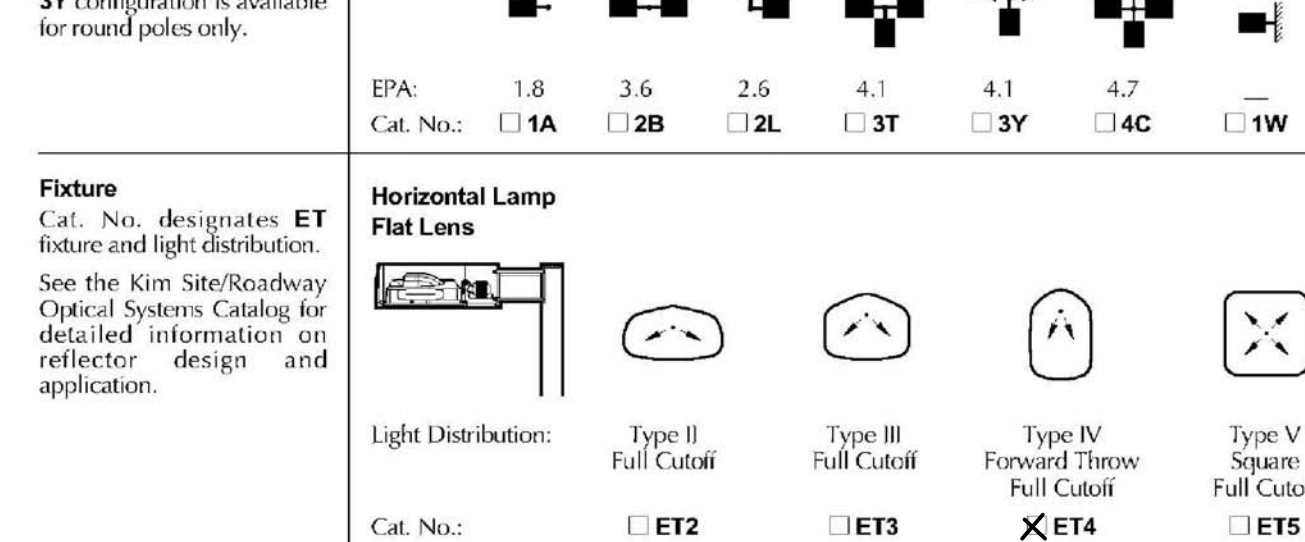
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Standard Features



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FIXTURE TYPE "AA"

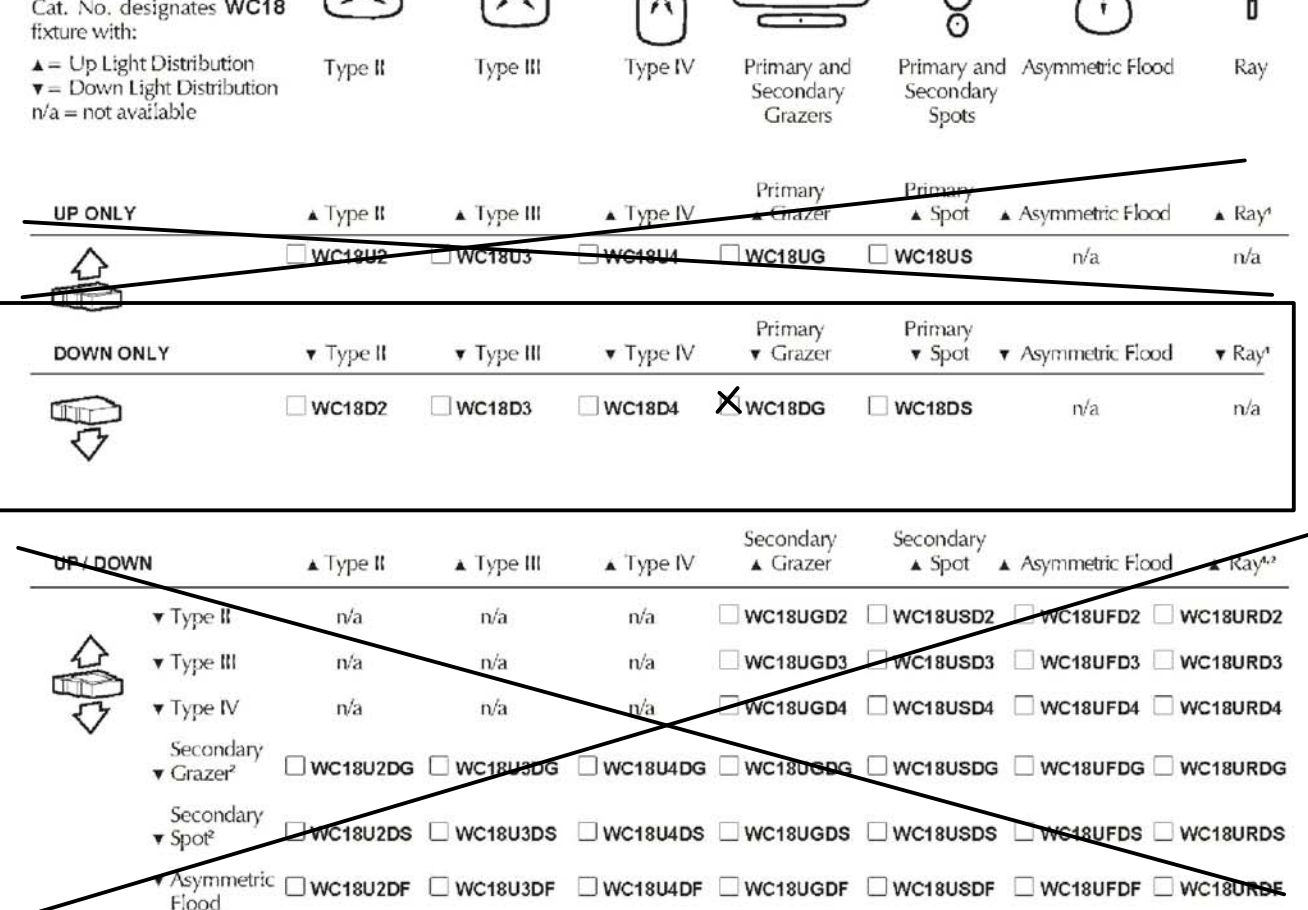
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Catalog number:

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Standard Features



*For colored up light ray beam, contact factory.
*Primary grazer or primary spot optics supplied when specified with the ray option. Secondary grazer or secondary spot optics supplied when specified in all other up/down combination configurations.
Refer to the Kim Lighting Wall Commander Catalog for a complete matrix of available configurations.

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FIXTURE TYPE "BB"

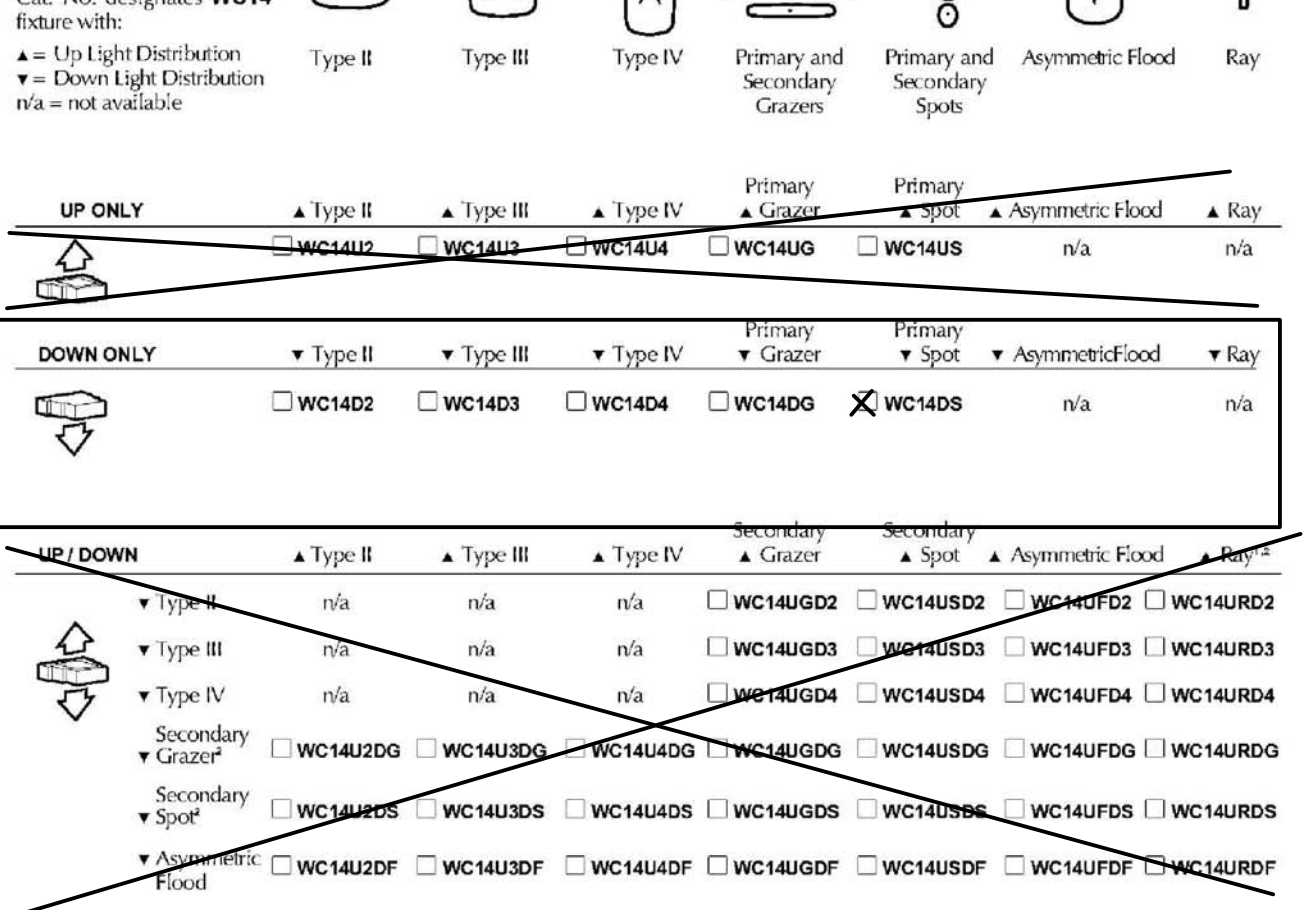
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Job:
Catalog number:

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Standard Features



*For colored up light ray beam, contact factory.
*Primary grazer or primary spot optics supplied when specified with the ray option. Secondary grazer or secondary spot optics supplied when specified in all other up/down combination configurations.
Refer to the Kim Lighting Wall Commander Catalog for a complete matrix of available configurations.

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FIXTURE TYPE "CC"

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